

**Village of Carpentersville**  
**Development Standards**  
**&**  
**Design Guidelines**

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# Development Standards & Design Guidelines

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## Introduction

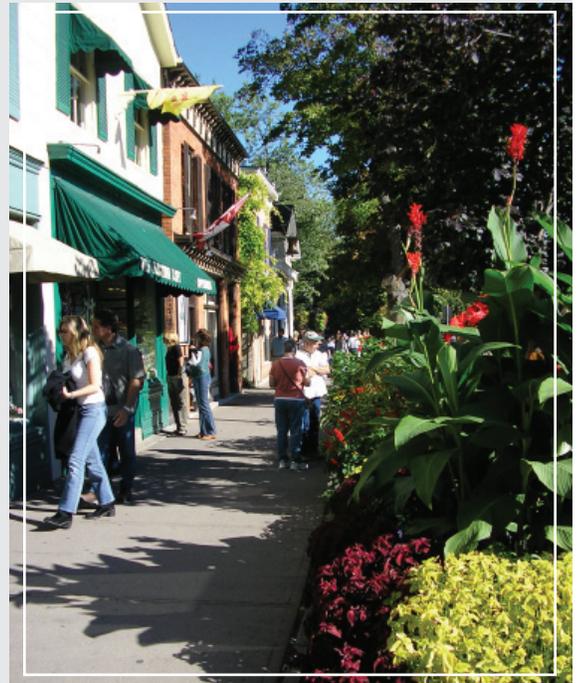
These *Development Standards and Design Guidelines* present basic principles to be used in improving the overall appearance and character of new development and redevelopment throughout the Village of Carpentersville, Illinois and its planning areas (hereinafter referred to as the “Village”). The guidelines focus on promoting high-quality improvements and developments that will compliment and enhance the overall character of the Village. The *Development Standards and Design Guidelines* incorporate the development standards of Title 16, Zoning and 17, Subdivisions of the Carpentersville Municipal Code, as well as design guidelines which address more general aesthetic and design related components.

While the *Development Standards and Design Guidelines* focus on new development, they also address the improvement and redevelopment of existing buildings and property. They are based on the premise that even small improvements, if done properly, can have a major impact on the overall appearance and character of individual properties and the surrounding environment.

The Development Standards and Design Guidelines do not attempt to dictate architectural styles or “make all buildings look the same.” They are not intended to restrict creativity or limit design solutions, but instead are intended to improve and enhance the overall scale, quality and character of different areas within the Village. The Guidelines strive to promote a level of quality, compatibility, and consistency that will help make the Village attractive and distinguishable from other surrounding areas.

It should be emphasized that the Design Guidelines are for overall guidance only. Each individual project should be reviewed and considered by the Village on a case-by-case basis. The Development Standards set forth the minimum requirements for development within the Village.

In addition to these Development Standards and Design Guidelines, all new development and building improvements within the Village are subject to the appropriate Village codes and ordinances which address the public interest.



The purposes of the Development Standards and Design Guidelines are to:

- Promote the orderly and harmonious growth of the village through high-quality and compatible new development;
- Improve the design and appearance of existing buildings and properties;
- Improve the image and appearance of the public rights-of-way;
- Promote more design compatibility among buildings and groups of buildings; and
- Establish a distinctive visual image and character for the different areas of the Village.

## Process

The creation of Development Standards and Design Guidelines was a natural extension of the recent Comprehensive Planning process. Adopted goals of the Comprehensive Plan support the need for the standards and guidelines with objectives such as: 1) Create and maintain a physically distinctive and high-quality community environment; 2) Improve the image and appearance of all existing commercial areas, with particular emphasis on the appearance of buildings, signage, site landscaping, and streetscape amenities; and 3) Prioritize appropriate redevelopment that creates and enhances the pedestrian scale and “small town” charm of the Old Town commercial area. With those goals and objectives as a foundation, the standards and guidelines were drafted based on further research and community input. The community participated in both resident and business online questionnaires and also a Visual Preference Survey, which allowed participants to express views about the appearance of the built environment. Additionally, a driving tour was conducted of the Village to assess the effectiveness of existing regulations and to identify needed improvements. Using this research and community input, the detailed Development Standards and Design Guidelines was prepared.

This document provides a more complete listing of Development Standards and Design Guidelines for the Village. The standards and guidelines address both the public and the private improvements within the Village, and are intended to support and strengthen land-use and development and public improvement recommendations found in the Comprehensive Plan which reflects the desires of the residents, elected and appointed officials, and business owners within the community.

In general, the *Development Standards and Design Guidelines* strive to:

- Promote public and private improvements and developments that will help create and reinforce the desired character and identity for the Village.
- Promote new development that complements the existing development and the desired scale and character of the Village.
- Improve the appearance and quality of existing sites and buildings within the Village.
- Ensure high-quality and compatible building and site design throughout the Village.
- Establish a development pattern that is sensitive to, and protective of, the natural environment.
- Foster development that respects and promotes pedestrian and bicycle activity, while still accommodating automobile and truck traffic.

The guidelines presented in this document should be used by the Village in reviewing plans and proposals for all new developments and redevelopment within the community. They should be considered “supplements” to the Village’s Comprehensive Plan, Zoning Ordinance, Planned Unit Development Ordinance, Subdivision Regulations and other applicable codes and ordinances.

Architects, property owners and developers are advised to use these guidelines as a reference as they prepare plans for new development projects. Whenever these guidelines may conflict with the Village Zoning Ordinance or other codes, those ordinances take precedent.

# **Residential Development Standards & Design Guidelines**

The Residential Guidelines are intended  
for all residential developments.

## Placement and Orientation

- Residential buildings shall have a strong orientation to the street. Primary entrances to the buildings should be located in the front of the building, facing the street.
- Quality design should be used on all sides of the building, providing an attractive “360 degree” appearance.
- Buildings should be positioned in a manner that preserves views and the privacy of others. Structures and landscaping should be placed to respect the privacy of neighbors, and minimize obstruction of views from neighboring properties.
- When residential development is adjacent to commercial or other incompatible land uses, a setback, larger than the minimum required setback should be provided and improved with berms and additional landscape screening effective during winter and summer seasons to provide adequate protection from adverse impacts.
- Conservation design techniques should be used to preserve open space and the natural environment for public enjoyment.
- Front porches and other strong articulation at the entrance are encouraged. Porches shall not be less than 5 feet in depth.
- Rowhouses shall be rear loaded, with a strong unit orientation to the street. Articulation at the front face of the unit is encouraged. Garages should be located in the rear to strengthen each unit’s street or courtyard prominence.
- The placement and orientation of buildings should be compatible with adjacent uses, buildings, and development patterns.
- The site should be planned to accomplish a desirable transition with the streetscape and to provide for adequate planting, pedestrian movement and parking areas.
- Monotony of design shall be avoided, however styles should be complementary and should relate to indigenous architecture. In residential districts, no two (2) detached single family dwellings of substantially similar or identical front and secondary front (for corner lots), shall be constructed or located on adjacent lots. Said changes shall constitute a substantial change and shall include no less than one (1) major change and color change or three (3) minor changes. Major changes: Roof treatment – hip, gable, twenty-five (25) percent or greater change in slope; Location of garage entry – side and front; Type of brick treatment – extended porticos, etc.; Material treatment – full brick vs. half-and-half; Overall façade – Mediterranean vs. colonial, for example brick arches, brick bay projections, balconies. Minor changes: Vertical or horizon-



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*1) Rowhomes with strong orientation to the street create a neighborhood feel. 2) Front porches provide a view to the front yard from the residence and enhance the appearance of the home. 3) Naturalized landscaping around stormwater facilities can provide attractive environments for homes. 4) Front doors and windows front the street in a welcoming manner.*

tal siding; Colors of materials; Door treatment – garage and entry; Window styles – casements, bows and double hung; Shutter treatment; Ornamental treatment – lighting fixture location, or posts and fascia; Reversing plan; or Brick wing arms.

### Size, Height and Bulk

- Incorporating horizontal details, including eave and trim bands, to facades of residential buildings is encouraged. Horizontal details can add scale and proportion to a house.
- Portions of the front and side sections of the residential building shall be articulated and stepped back to break up the building's mass. Stepping back sections of a building in forward and backward progressions can soften the perceived mass of front, rear, and side walls. No elevation on the side of a residential building shall have a massing or horizontal length more than 30 feet without a minimum 3 foot offset (articulation/change in plane or design feature) for a distance along the side of the building of not less than 8 feet in length.
- Front porches can add interest and scale to the front of a residential building. Front porches also encourage neighbor interaction, contribute to safety and help establish the close neighborhoods desired by the Village and its residents. Incorporating front porches into a residential building's design is strongly encouraged, however it should be appropriate to the established architectural style.
- Appropriately articulated rooflines add architectural interest and break up the mass that can be created by a large imposing roof. Chimneys, dormers, roof shape and architectural style are aesthetic considerations that can reduce the perceived height and mass of a residential building.
- Bay windows, turrets and other architectural features appropriate to the historic/traditional architectural styles are encouraged. These features soften the appearance of a home and can break up large wall masses.
- Exterior trim details can add interest, scale and dimension to a residential building. The use of wide casings around windows, shutters, corner and frieze boards, balusters and columns compatible with the building's architectural style is encouraged.
- When architecturally appropriate, extended open or boxed eaves should be used to accentuate the roof's angle from the wall. The use of extended eaves will also provide improved stormwater drainage away from the foundation.

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*5) The height and massing of buildings, combined with pedestrian scaled details creates a neighborhood feel. 6) Massing of larger buildings into sections that project and form a rhythm are preferred. 7) Access to the front door of homes from the public sidewalk and varied rooflines all contribute to the success of these rowhomes.*

## Building Materials and Color

- Exterior finishes should consist primarily of either traditional masonry building materials such as face brick or stone, or wood clapboard or fiber cement siding. Engineered wood, plywood, concrete block, tin, and metal or metal appearance are prohibited. The use of decorative quoins on masonry buildings is encouraged. Use of Artificial Stucco and Exterior Insulation and Finish Systems (EIFS) are discouraged for use as the primary building material, but may be appropriate for dormers, accent features, or other upper floor applications.
- All residential dwelling units or buildings shall contain face brick or stone of not less than fifty (50) percent of exterior walls and shall contain face brick or stone on ninety (90) percent of each first floor elevation or ground levels of such units. Brick and stone shall not be painted. Engineered wood, plywood, concrete block, tin, and metal or metal appearance are prohibited.
- Exterior finishes should utilize appropriate accents to highlight entries, windows, dormers, chimneys, porches and other architectural details using historic models. Acceptable accent materials include stone, simulated stone (i.e. Cultured Stone®), terra cotta, copper, and wood and metal trim. Authentic Stucco is acceptable, but attention should be paid to the durability of the application. Wood and cement board siding is acceptable, but must be hung horizontally.
- Roofing materials shall complement the architectural style of a residential building. The color of roofing materials should complement the architectural style and color of the building.
- Columns, banisters, balusters, shutters, and other architectural details are encouraged provided they are compatible with the architectural style of the building.
- Identical materials shall be used on all exterior sides of a residential building. Changes in colors and materials shall occur horizontally such as changes to upper floors or windowsills. Elevations of different colors and materials are not permitted on individual buildings, including brick or stone front facades with siding on side and rear elevations. Where a wing or projection of the building is offset, the wing or projection may use different materials to give it emphasis, provided the materials are applied to the entire wing or projection and complement the materials used on the rest of the building.
- Screening of utility meters and hardware, mechanical equipment, such as air conditioning condensers and PVC vents, and refuse areas and containers from public view from any street, sidewalk, or adjacent property shall be accomplished by the use of walls, fencing, and/or plant-



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*1) - 3) Traditional brick and stone materials combined with a complimentary palette of earth tones and neutral shades as well as classic sized window openings make these residences more appealing and timeless.*

ing. Screening shall be equally effective in the winter and summer seasons. Walls shall be constructed of materials matching the primary building. Fencing should complement the architectural and landscaping designs on the site. All utility cables shall be underground.

### Windows, Doors and Entrances

- Each elevation of a dwelling shall have windows. The frequency, scale, and quantity of window placement should be determined by the architectural style, however, windows are preferred to break up building facades.
- All openings should be articulated through the use of shutters, flat or arched lintels, projecting sills or surrounds. Windows should be located on all elevations and be properly spaced and proportioned.
- All windows should display the correct use of divided lights. Removable grilles are allowed however, true-divided or simulated-divided-light windows are encouraged.
- Glazing should be clear or tinted a subtle natural color, such as grey, brown, or other earth tones. Low-E insulated glass is strongly encouraged. Reflective glass or glass block are prohibited.
- The style of window should be compatible with and complement the architectural style of the residential building. All windows in a residential building should be of the same style and quality. Installation of different types or styles of windows on the same building is strongly discouraged. All residential buildings within the community should be attractive and inviting. Long blank facades and elevations should be avoided.
- The primary entrance to residential buildings shall be on the front elevation. Buildings shall have strong orientations to the street.
- Exterior doors should be of high quality. Solid wood doors are preferred. Fiberglass doors with natural wood appearance are acceptable as are metal doors painted in character of the building. Windows within and adjacent to front doors are encouraged.
- Shutters should be traditional in design and material and in keeping with the architectural style. If shutters are used they should be sized to the window so it appears it could be closed and fully protect the window. Hinges and shutter-dogs should be used even if the shutter is fastened to the wall. Wood shutters are preferred over hollow back plastic or vinyl shutters.

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*4) Dormers can add entrance to the facade and additional usable space inside the home. 5) Windows on all sides of homes is required. 6) Shutters should be used to add interest but only where they are proportional to the window they are placed next to. 7) Decorative sills and lintels can emphasize window openings to add interest to otherwise flat elevations.*

## Roofs and Rooflines

- Traditional roof configurations, including gable, hip or a combination of both are preferred. Mansard, hip-on-gable, hip-and-gable, gambrel, saltbox, cross gable, and kicked eaves style roofs should be attractively designed and appropriate with the building architecture. Flat roofs should be permitted over entry porches, entryways, or where compatible with historical precedence. Shed roofs should not be permitted except as a dormer accent.
- All roofs shall be scaled to the building that they cover.
- Dormers are encouraged provided they are appropriate with the architectural style of the residential building. Dormers add visual interest to a building, provide more interior natural light, and disrupt large roof masses. Dormers should be designed in keeping with the historical architectural style. Dormers must be correctly located on the roof and the use of proportionally designed dormers is encouraged.
- Chimneys can assist in breaking up roof mass and reducing the perceived bulk of a residential building. Chimneys should be incorporated into the roofline of a building. The style and placement of chimneys should be compatible with a building's architecture. Galvanized flues should not be exposed and should be covered with decorative cap or screening.
- An important element of design is the shadow lines which are created by roofs and help articulate the building. All buildings with a pitched roof should have eaves that extend a sufficient distance to create shadow lines. A variety of overhangs are desired.
- Skylights shall not be visible from the street in front of the property. Skylights should be as flush with the roof and as non-protruding as possible, and similar in color to the roof. Dome style skylights are discouraged, but may be considered when not visible from the front public right-of-way.
- Each dwelling's sewer, plumbing and attic vents should be within a combined chase when possible. Continuous ridge vents or gable vents are encouraged. Venting should be subtle and not visually prominent from any street view. Venting hardware must not disrupt the rooflines from front or side elevations. High profile vents, prefabricated dome vents, dormer vents, and power vents are discouraged and if used, shall not be visible from the street in front of the property. Venting devices should blend with the building materials and colors.
- Eaves and rakes should be articulated by fascia boards, friezes, cove and crown molding, or gutters
- Roofing materials should complement the architectural style and color of a residential building.



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*1) A variety of rooflines can be used to break up the mass of a larger building. 2) Dormers can add interest to steeply pitched roofs. 3) Special rooflines such as gables and turrets provide visual variety. 4) Rooflines can be used repetitively in different manners to unify a group of buildings with out being monotonous.*

## Garages and Driveways

- Garages should be properly sited as to not to be a primary design feature of a two-unit dwelling, townhouse, rowhouse, or multi-family residential building. Front-loading garages shall not protrude from the front plane of any two-unit dwelling, townhouse, rowhouse, or multi-family residential building by more than 10 feet.
- For buildings with front-loading garages, some architectural design element that provides relief to the facade and softens the massing of the doors, such as; a roof with decorative brackets; columns and or trellis should be provided.
- Garage doors should be consistent with the architectural style of the residential building. Carriage style garage doors are preferred. Garage doors with windows should complement the architectural style of the building.
- Separate garage doors for each bay are encouraged. Fenestrated columns or separations providing the appearance of separate garage doors are encouraged for all doublewide doors.
- Attached garages shall have windows to soften the garage's visual impact. The spacing, style and frequency of windows should be similar to the rest of the residential building.
- Details such as curved tops, wide casings, corner and frieze boards, balusters and columns should be used to soften the visual impact of the garages, and add interest, scale and dimension.

## Lighting

- Building lighting should be subtle and understated and should enhance the building design and the adjoining landscape; light fixtures should be designed and oriented to produce minimal glare and no lighting spillover onto nearby properties. Direct exposure of light bulbs should be avoided with the use of baffles or shields. The use of low wattage bulbs should be encouraged. Incandescent lighting creates a warm atmosphere and should be encouraged for all exterior lighting.

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5) Garages can be side facing and side loading to minimize their presence in the streetscape. 6) - 7) Where garages face the street, they can be decorative or set back to lessen the visual impact. 8) Townhomes and rowhouses can use rear drives to provide garage access as well as service space for garbage collection.

## Transportation Improvements and Considerations

- Cul-de-sacs shall be discouraged.
- Private roads and driveways serving more than two dwelling units should be discouraged unless a desirable development can only be achieved through the reduction of curb cuts on public rights-of-way by the use of a private drive.
- New developments shall be linked to the surrounding street system in a safe and logical fashion. Major entrances and exits shall include appropriate sight lines, be aligned with other selected drives and intersections, and incorporate appropriate geometrics and traffic control measures to ensure safety, capacity, and operational efficiency.
- Curb cuts onto arterial and major collector streets shall be minimized and only permitted for gateway entrances into subdivisions and similar development sites.

## Environmental, Open Space and Stormwater Considerations

- New development, redevelopment, and improvements to existing buildings and sites should be compatible and harmonious with the character of adjacent buildings and the existing landscape.
- Natural features, including significant existing trees and vegetation, topography, wetlands, and drainage characteristics, shall be protected and incorporated into the planning and design of the residential development.
- Conservation design and development concepts are encouraged for all residential development. Porous brick driveways, naturalized drainage swales, bioswales, rain gardens, and reduced pavement areas are examples of some techniques that should be promoted within the Village.
- Cut and fill and mass grading for new developments should be minimized. Development should strive to maintain the hills, terrain, and rolling topography that exists within the Village.
- Detention areas should be designed to promote joint detention with adjacent property owners or planned expansion to accommodate future development. Detention areas should also be designed as visual amenities within a development area.
- Stormwater management within residential developments shall consider the hydrological implications of nearby off-site development and other areas within the watershed in order to resolve potential problems in a cost effective manner. Careful site planning, appropriate landscape



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- 1) *Lighting can unify a streetscape and provide a comfortable pedestrian environment.*
- 2) *Open spaces can make a positive impact on neighborhoods.*
- 3) *Naturalized plantings near stormwater basins not only provide year-round landscape interest, they can deter geese.*
- 4) *Passive architectural elements offer recreation opportunities, such as fishing, from this gazebo pier on a stormwater basin.*

materials, proper wetland buffers and sedimentation basins and filters, erosion control, and tree preservation should be important components of a comprehensive storm water management plan.

- Retention areas shall be designed to consider maintenance requirements, water quality, visual characteristics, recreational and wildlife values, as well as hydrologic criteria.
- Useable and accessible open space and parkland shall be provided as a part of all new residential developments. Parks and open spaces should reflect the desires of residents of the development and the Village as a whole. Land designated for public open space is to be platted as such, with restrictive easements that prohibit the land later being sold for development at a later date, and methods should be established to assure their maintenance in perpetuity.
- Floodplains, wetlands, areas of ecological and archaeological significance, and mature wooded areas shall be preserved to the extent possible and reasonable as required by the various agencies having jurisdiction over them.
- Site planning within new developments shall include the use of effective and attractive landscape buffers to protect residential areas from adjacent arterial roadways and non-residential development.

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*5) Pedestrian and bicycle paths provide important linkages throughout the community and positive recreation amenities. 6) Parks and other open spaces contribute to the overall quality of life in residential neighborhoods.*

## **Commercial Design Guidelines**

The guidelines presented in this section should be used by the Village in reviewing plans and proposals for all new commercial development, redevelopment, and improvements to existing buildings and sites within the community, including: Neighborhood Commercial, Shopping Center Commercial, Corridor Commercial, and Old Town/Mixed-Use Commercial. Guidelines are presented in two sections, as follows:

- 1) Neighborhood Shopping Center and Corridor Commercial Areas; and
- 2) Old Town/Mixed Use Commercial Area.

# Neighborhood Shopping Center and Corridor Commercial Guidelines



1) Long-lasting masonry materials and traditional design contributes to the character of the Village of Carpentersville.

## Building Scale and Design

- A multiple-story architectural element, such as a clock tower, spire, or bell tower, may be appropriate as a design “highlight” at Village approved locations along major corridors.
- Distinguishing architectural features are encouraged, such as decorative cornices, columns, reliefs, and other façade ornamentation and detailing.
- Covered walkways and colonnades are encouraged along the fronts of the buildings to create a pedestrian orientation.
- Architectural details should be visible from the street. Buildings should not be setback so far as to diminish the aesthetic impact of the building on passing pedestrians and motorists. Buildings should be attractive at both a pedestrian and vehicular scale.
- Mansard, shake or shingle roofs are prohibited.
- Buildings may have either a pitched or flat roof, but rooflines must compliment the overall design and architecture of the building. Rooflines and parapets should look complete when viewed from all sides of the building.
- Rooftop-mounted equipment and vents shall be screened from views along all sides of a building. Rooftop screening should be incorporated into the overall design of the building and be an integral part of the architecture.
- Screening of utility meters, transformers and similar hardware, mechanical equipment, such as air conditioning condensers and PVC vents, refuse areas and containers, and/or other potentially unattractive places from view from any street, sidewalk, or adjacent property shall be accomplished by the use of walls, fencing, berms and/or planting. Plant screening shall be equally effective in the winter and summer seasons. Walls shall be constructed of materials matching the primary building. Fencing should complement the architectural and landscaping designs on the site. All utility cables shall be underground. All refuse containment areas shall be located to the rear of buildings and provided with solid access doors or gates which self-close.
- Dumpster enclosures shall be of masonry construction and should compliment overall building design. Dumpster enclosures should be well landscaped.

## Building Placement and Orientation

- Buildings shall have a strong visual and physical relationship to the roads on which they front to enhance the identity and pedestrian orientation of the different corridors.
- Although many commercial areas are located along corridors that are primarily oriented to the automobile, commercial buildings should have a strong pedestrian orientation with display windows, attractive detailing, and convenient and “hospitable” entrances. Obstructing windows from the interior of a building with shelving, display cases, signage or other objects is not permitted.
- Buildings shall have clearly defined, highly visible customer entrances with features such as canopies or porticos, arches, wing walls, and integral planters. Where commercial areas are characterized by building setbacks, side yards and surface parking lots, the street frontage should be maintained through the use of low-profile landscaping and decorative walls or fencing.
- All buildings should “front” the roads on which they are located, wherever possible. When front doors do not face the street frontage, display windows or distinctive facade treatments should be provided along public road frontage.
- Long, blank facades which are visible from public rights-of-way are prohibited. Facades greater than seventy-five (75) feet in length shall incorporate recesses and projections along at least twenty-five (25) percent of the length of the façade.
- Covered walkways, such as arcades, are encouraged along the fronts of multi-tenant commercial buildings to create a “pedestrian-friendly” orientation. The columns of the arcade should be aligned with the façade of the building.
- All service entrances, dumpsters, loading facilities, and outdoor storage, where permitted, shall be located at the rear of buildings; they should be screened from view from residential properties and along sidewalks and roadways through the use of masonry walls and landscaping to achieve a year round opaque screen. Plantings shall consist of evergreen and/or deciduous shrubs planted in conjunction with low-growing annual or perennial plants and ground cover. Large expanses of mulch are to be avoided.
- Any business permitted to have a “drive-thru” facility shall be sited so that drive-through lanes and pickup windows are not prominently featured.
- Window glazing shall be clear or slightly tinted. Dark, mirrored, reflective glass, or glass block is not permitted.
- Any outdoor seating areas, such as those provided by restaurants or cafés, shall be well landscaped and incorporated into the overall site design. Outdoor seating areas

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2) Even larger stores and in-line commercial stores benefit from pedestrian scaled architecture and welcoming amenities. 3) Where appropriate, buildings can have a closer relationship with streets and drive aisles, but still be human scale. 4) Masonry building materials and landscaping provide a lasting visual screen for unsightly garbage dumpsters. 5) Simple decorative parapet walls provide appropriate screening for rooftop mechanical equipment.

# Village of Carpentersville Development Standards & Design Guidelines



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*The use of appropriate building materials is fundamental to compatible new development, redevelopment, and the rehabilitation of existing structures.*



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*1) Low walls and a mix of shrubs and annual flowers create separation and an attractive setting for an outdoor cafe. 2) - 3) The quality and permanence of brick and stone facing contribute to the desired character of shopping areas.*

should be set back and screened from parking areas and driving aisles.

- Awnings and canopies may be used to provide weather protection and to add visual interest at the street level. They should be integrated into the façade and should be in character with the architectural style of the building. Arched or rounded awnings should be discouraged, unless they are compatible with and appropriate to the architectural style of a building. Internally illuminated or backlit awnings and canopies, shingle and mansard canopies, and plastic awnings are prohibited.

## Building Materials and Colors

- Quality materials should be used on all sides of the building, providing an attractive “360° degree” appearance.
- Buildings should be constructed primarily of traditional masonry building materials such as brick or stone. These materials should be used on all sides of the building. Recommended accent materials include stone, simulated stone, terra cotta, and wood and metal trim.
- “Exterior insulation finish systems” (EIFS) are not permitted as a primary building material, but may be appropriate as an accent material, on non-ground floor areas of the building. Rough sawed wood, aluminum siding, and plastic or metal panels shall not be used within the commercial areas.
- The predominant colors for buildings should consist of earth tones. While the natural brick and stone colors should predominate, contrasting and complementary colors should also be used to accent building components, highlight architectural elements and to help distinguish commercial areas.

## Lighting

- Lighting shall be used to illuminate entries, signage, displays, and pedestrian and parking areas and all means of vehicular ingress/egress as well as to highlight significant architectural and landscape elements.
- Front and rear building entries shall be adequately lit for overall security and visibility.
- Building lighting should be subtle and understated and should enhance the building design and the adjoining landscape; light fixtures shall be designed and oriented to produce minimal glare, nuisance, and spillover onto nearby properties.
- Diffused, soft white light is recommended and high-pressure sodium (orange lighting) and metal halide lighting are not recommended. Extensive lighting and over illumination shall be avoided to reduce light pollution.

## Neighborhood, Shopping Center and Corridor Commercial Areas

- Exterior lighting should be concealed to provide indirect illumination. Where concealment is not practical, light fixtures should be compatible with building architecture.
- Parking lots within the commercial areas must strive to create a more pedestrian scale and minimize light pollution, glare, and nuisance to neighboring properties. This can be accomplished by using shorter lighting standards (12'-18') to help establish pedestrian environments within individual developments. Taller light standards (25'-40') shall be avoided, except where needed to accommodate large parking areas.
- Bollard lighting is encouraged as accent lighting and may be used in pedestrian seating areas and to highlight pedestrian walkways and crossings in parking lots.

### Parking Lots

- The number of curb cuts along major collector and arterial roadways shall be minimized. Within the commercial areas, adjacent parking lots should be connected and access points should be unified whenever possible. All parking areas should be accessible from cross streets whenever possible.
- All parking areas shall be paved or bricked, striped and have surfaces in good condition. The use of pervious brick paver systems is encouraged.
- Parking lots shall be screened from view along sidewalks and roadways through the combined use of free forming berms, low masonry walls, trees, hedge plantings, and shrubs.
- Parking lots shall have curbed perimeters and curbed landscaped islands. Clearly marked pedestrian pathways shall be provided within the interior of parking areas to avoid large expanses of asphalt and to enhance pedestrian safety.
- Parking lot landscaping shall include "landscape islands" at a ratio of one per ten parking spaces. Landscape islands shall consist of Village approved canopy trees (minimum 2.5 inches in caliper), attractive groundcover, and/or decorative bushes (minimum 3 feet in height) and be a minimum size of 9-feet by 18-feet. Excessive mulch is prohibited.
- All parking lots shall be designed for proper drainage.
- Parking lots that are used during evening hours shall be adequately illuminated.
- Cross access between adjacent parking lots is encouraged
- All parking areas shall be accessible from cross streets whenever possible.

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*Lighting promotes safe and secure parking and pedestrian areas, and it can also serve to enhance the appearance of the property.*

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*5) Lighting, bicycle racks and a pleasant blend of materials bring interest to this entrance. 6) Trees, shrubs and other landscaping soften harsh building lines and screen views of parking areas. 7) Large parking lots can be designed to include pedestrian walkways using pavers and landscaping to distinguish them from drive aisles.*

## Landscaping and Site Improvements

- Plants native to the Northeastern Illinois Region should be encouraged for all landscaped areas within the Commercial areas. Although initially these plants and grasses may be difficult to establish, long-term maintenance costs will be reduced.
- Planters and landscaped areas should buffer parking and service areas. Plantings should consist of low evergreen and/or deciduous shrubs planted in conjunction with low-growing annual or perennial plants and groundcover. Large expanses of exposed mulch are to be avoided.
- Property shall be landscaped in a manner that screens parking and unattractive uses, and enhances building visibility.
- A landscaped buffer at least seven feet in width shall be provided around the perimeter of surface parking lots. Perimeter landscape plantings shall include a continuous hedge (3'-4' in height) accented by trees and ground cover but should not obstruct tenant signage and views to buildings and site features.
- In conjunction with landscaping, decorative fencing is encouraged to delineate and screen parking and service facilities, outdoor storage areas, etc. Low-profile, decorative wrought iron fencing or masonry walls are recommended; chain link fencing is prohibited.
- All landscaping shall be maintained in a healthy and attractive condition during winter and summer seasons. Maintenance programs shall be established as part of new development approvals to ensure that private landscaping is adequately cared for and that its value is retained over time. Regular maintenance should include turf mowing, periodic fertilization, pruning, and the clean-up of litter and debris. Private, internal irrigation systems are preferred and encouraged.
- Where site size or configuration does not allow for the minimum seven-foot perimeter landscaping, vertical landscaping elements shall be employed to provide an effective screen between parking lots and the public right-of-way. Materials and design should be consistent with those used for the primary building.
- Areas adjacent to entrances, monument signs and other site features should be planted with seasonal flowers or colorful groundcover. Large expanses of exposed mulch are to be avoided.
- Evergreens, berming, and other "vertical" landscaping elements shall be used to screen intense commercial activity from adjacent residential properties. Masonry walls in conjunction with landscaping may be considered as a screening device where landscaping alone is incapable of



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*Adequate parking is essential within the commercial area. Off-street parking lots should be designed and located so that they are safe, attractive and efficient.*



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*1) Bollard lighting and benches add human scale to plazas and sidewalks. 2) A break in landscaping provides pedestrian access via a sidewalk to this pharmacy near a residential neighborhood. 3) When installed and maintained appropriately, trees and shrubs fill in, providing shade and hedges to soften paved areas.*

providing an effective screen. A non-continuous berm in conjunction with landscaping may screen uses and at the same time provide attractive views into the commercial development.

- All landscaping within and adjacent to the public right-of-way shall be compatible with existing plant materials in the area and be composed of native and salt tolerant species.
- Any outdoor seating areas, such as those provided by restaurants or cafés, shall be well landscaped and incorporated into the overall site design. Outdoor seating areas shall be set back and screened from parking areas and driving aisles.

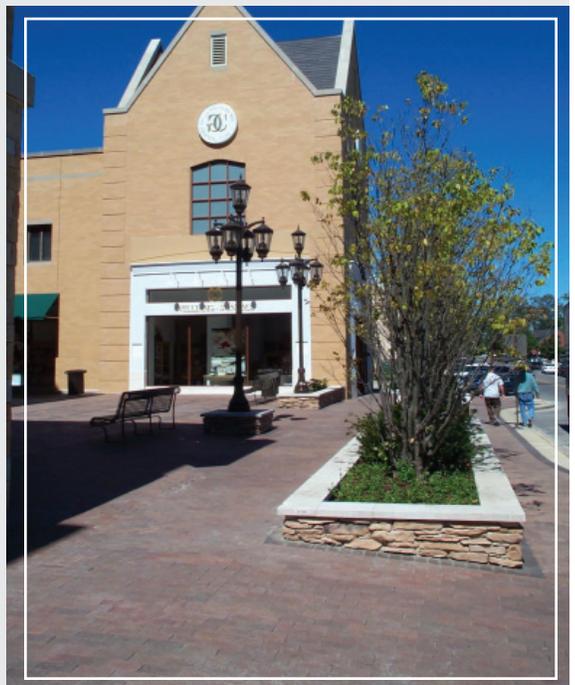
### Business Signage

- Exterior building signs shall be limited to business identification and description; exterior advertising signs are not permitted. The size, material, color, and shape of building signs should complement the architectural style and scale of the building.
- Wall-mounted signs are encouraged, although signage should not project above the cornice line or be mounted on the roof of a building.
- Raised, individual letters mounted directly on the building, as well as signs that use light colors for lettering and darker colors for backgrounds, are preferred. Box signs are prohibited.
- Signs or displays painted directly on the building façade are also prohibited.
- When a building contains multiple ground-floor tenants, signage for all businesses should be compatible in design and consistent in placement.
- Street numbers shall be prominently displayed at the main entrance to every business and be clearly visible from the street.
- Free-standing signage within the commercial areas shall consist of low-profile monument signs. Monument signs should be attractively landscaped and constructed of traditional building materials similar to the primary building on the site.
- The letters of a monument sign should be internally illuminated with a white light source. External illumination may be appropriate for a natural metal, engraved stone, or wooden monument sign as long as the light source is directed onto the face of the sign only, no spillover is permitted. Excessive light and light pollution should be avoided.

4)



5)



4) Trees and shrubs on a berm buffer parking from the adjacent roadway. Grasses, flowering shrubs and evergreens add year-round interest. 5) Courtyards in shopping areas are enhanced by decorative lighting, benches and pavers.

# Village of Carpentersville Development Standards & Design Guidelines



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1) Internally illuminated, individual letter wall signs contrast with masonry wall materials making them attractive and easy to read day or night. 2) Externally illuminated individual letters mounted on a uniform sign board bring a multi-tenant center together. 3) Projecting signs and awnings work well in an area with heavier foot traffic. 4) Black individual lettering, that can be backlit at night, allows tenants to use their logo, but also unify property signage.

- “Gateway” signage and design features at key locations along certain corridors are encouraged. Gateway treatments may include special signage, landscaping, and/or lighting.
- The size of signs should complement façade proportions, and should be constructed in an appropriate scale to the building.
- The design and color of the sign shall compliment the architectural style of the building, and be integrated as a component of the building’s facade.
- Internal illumination is preferred for building mounted signs. Externally lighted signs may also be acceptable if they are compatible with other architectural components.
- Pole signs, pylon signs, and billboards are prohibited within the commercial areas.

## **Old Town/Mixed Use Commercial Area Guidelines**



*Mixed use buildings and a lively streetscape attract shoppers and pedestrian activity.*

## Building Height, Bulk & Proportion

Successful downtowns and Old Town Areas create an intimate pedestrian atmosphere, resulting in an “outdoor” room for visitors and shoppers. Much of this atmosphere can be attributed to the bulk and proportion of buildings as they relate to the street and one another. Development within the Old Town/Mixed-Use Commercial Area should be comprised of primarily of three- and four-story buildings. Buildings of this height contribute to a sense of enclosure and an intimate and pedestrian scale.

- Old Town Area Commercial buildings should create a “streetwall”, creating a sense of enclosure.
- New development within the Old Town Area should avoid extreme differences in building height. Careful consideration should be given to the height of adjacent buildings.
- Four story (and possibly five story) design elements may be acceptable in select locations, provided they are in character with the surrounding area. Vertical architectural elements may include clock towers, spires or bell towers. These elements should be considered as design “highlights” at key locations.
- The fourth stories of buildings, if permitted within the Old Town Area, shall be stepped back to soften the bulk and visual scale of the building.

## Building Placement and Orientation

Typical Old Town Areas and downtown areas are characterized by continuous rows of commercial buildings constructed at the front property line. This development pattern creates a distinctive “streetwall” effect that adds visual interest, enhances the pedestrian environment, and establishes a “human” scale within an area. Building placement and orientation objectives strive to create this development pattern within the Old Town Area.

- Buildings within the Old Town Area should be positioned at or near the front property line. Buildings located on corner lots should be built to or near to both fronting property lines.
- On certain properties, buildings may be set back from the sidewalk, to provide front yard landscaped areas appropriate for the site and in keeping with adjacent uses in the district and consistent throughout each block front.
- New construction in the Old Town Area should occupy the entire width of the lot to avoid gaps between buildings and discontinuities in the streetwall, except where pedestrian access to rear parking is designed and planned for.



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- 1) Carpentersville’s historic grist mill provides cues to appropriate building height and proportions for downtown development.
- 2) - 3) Mixed use buildings engage with the sidewalk at the street level for retail purposes. Upper levels articulate where appropriate for residential purposes.
- 4) A clock tower, extending from a mixed use building, provides a landmark and architectural focal point.

- Where maintaining a continuous streetwall is not possible or desirable, the streetwall should be maintained through the use of landscaping, pedestrian amenities, and decorative walls or fencing.
- Buildings throughout the Old Town Area should face the street, with strong pedestrian orientation.
- Buildings must have clearly defined, highly visible customer entrances with features such as canopies or porticos, arches, wing walls, and integral planters.
- The placement of buildings at odd or irregular angles to the street should be avoided. However, corner buildings might take advantage of their prominent locations with angled, rounded or recessed corner entrances or other small setbacks.
- Screening of utility meters, transformers and similar hardware, mechanical equipment, such as air conditioning condensers and PVC vents, refuse areas and containers, and/or other potentially unattractive places from view from any street, sidewalk, or adjacent property shall be accomplished by the use of walls, fencing, berms, and/or planting. Plant screening shall be equally effective in the winter and summer seasons. Walls shall be constructed of materials matching the primary building. Fencing should complement the architectural and landscaping designs on the site. All utility cables shall be underground. All refuse containment areas shall be located to the rear of buildings and provided with solid access doors or gates which self-close.

## Architectural Style

- Development within the Old Town Area should consist of traditional architectural styles. Modern architectural styles are discouraged.
- New buildings need not be historic replicas, but should offer high-quality and compatible interpretations of the traditional styles present within historic and traditional downtowns.
- Regardless of style, new buildings should use traditional masonry materials and reflect the predominant scale, height, massing, and proportions of traditional downtowns and Old Town areas.
- New buildings should incorporate decorative cornices, columns, reliefs, terra cotta tiles, and other significant façade detailing.

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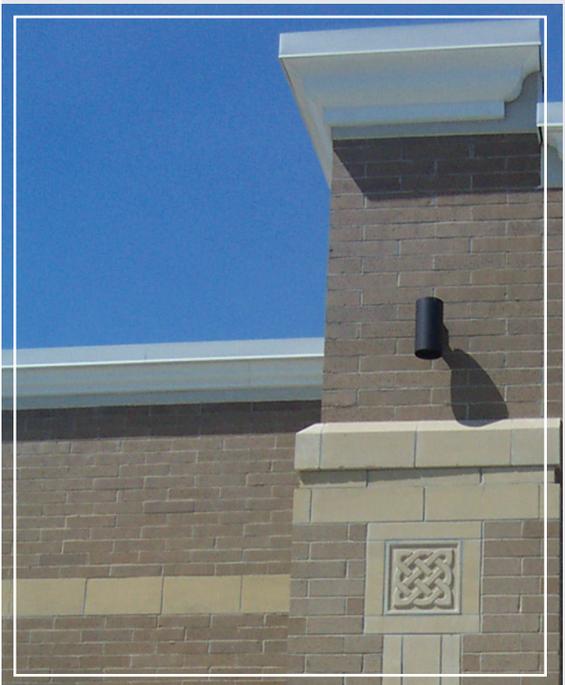


5) A brick arch continues the streetwall where parking or courtyard separates two buildings. 6) Carpentersville's Otto Engineering buildings display the desired character and materials for new buildings in Old Town. 7) A new building uses proportions and details of classic architecture.



1)

*The building materials most commonly used within traditional downtowns are earth-toned brick and stone. Ceramic tile and terra cotta are also used as ornamentation around doors, windows and cornices.*



2)

*1) & 2) Brick and stone used in more traditional applications make for attractive, lasting mixed use and commercial buildings. Details such as stone arches and decorative insets add to the integrity and interest of design.*

## Building Materials

- New buildings should be constructed of traditional masonry building materials such as brick or stone; these materials should be used on all sides of the building. Stucco, siding of all types, and any other exterior wall covering are discouraged for commercial and mixed-use buildings within the Old Town Area.
- Recommended accent materials include stone, simulated stone, terra cotta, and wood and metal trim.
- Since parking will be promoted in the rear of the buildings, new construction within the Old Town Area should have “360 degree” appearance, with design and detail consideration for all visible sides.
- Rough sawed wood, aluminum panels and siding, and plastic or metal panels are prohibited within the Old Town Area.
- Exterior insulation finish systems (EIFS) or Dryvit are prohibited within the Old Town Area.

## Doors and Entrances

The doors and entrances to the new buildings in the Old Town Area should provide an open invitation to potential customers, be attractive and inviting to pedestrians, and add visual interest to the street. However, doors should be appropriately sized and in scale with a building’s façade.

- The front doors of new buildings should reflect the scale, placement, and proportions of traditional downtown; recessed entrances are encouraged so that doors do not open into the pedestrian way within the public right of way.
- Main entrances should be at the front of the building and face the sidewalk. Buildings situated on corner lots may take advantage of their prominent locations with angled, or rounded corner entrances.
- Main entrances should be designed as an important architectural feature of the building.
- Doors and entryways of buildings should be compatible with the original style and character of the façade.

## Windows

Display windows on the ground floor of commercial buildings in a mixed-use downtown are one of the distinguishing features of pedestrian oriented shopping areas. They allow passersby to see merchandise within a commercial building from the sidewalk. Windows on the upper floors of traditional Old

Town Area buildings should be smaller and less prominent, but should have attractive detailing and decorative trim.

- Large ground-floor display windows and bays are strongly encouraged for retail and entertainment uses within the Old Town Area and should be in consistent proportion with historic downtowns.
- Windows on the upper floors of new buildings should appear to be “punched” openings within a solid wall, rather than as continuous rows of windows separated only by their frames. Curtain-wall window treatments are not permitted within the Old Town Area area. Upper floor windows should be recessed, not flush with the surface of the building.
- Windows should complement the architectural style of the building.
- Window glazing should be clear or slightly tinted. Dark, mirrored, reflective glass, or glass block is not permitted.
- Where existing windows are important architectural features in a building’s façade, window size and configuration should be maintained; window openings should not be covered over or boarded up.
- Ground floor windows can be used for displays, however business owners should allow full and unobstructed views into their businesses. Obstructing windows from the interior of a building with shelving, display cases, signage or other objects is not permitted.

## Roofs and Rooflines

The rooflines of new buildings should be similar to the rooflines of traditional downtowns and town centers in terms of shape, alignment, and architectural detailing.

- The roofs of commercial buildings should be flat, shallow-sloped or gabled.
- Roof parapets should be utilized to create an interesting building profile and to hide vents and other rooftop equipment.
- Cornices, and other decorative detail are encouraged along the rooflines of buildings.
- Sloped mansard style (shake or shingle) roofs are prohibited within the Old Town Area.
- Rooflines and architectural details should compliment the building’s architectural style, and contribute to the Old Town Area’s character, image and appeal.

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3) A primarily flat roofline is broken up with hipped roof accents at each end. 4) Open glazing and storefront street level windows allow for window shopping and merchandise display. Upper level windows are punched and in classic proportions. 5) Rear service entrances to a multi-tenant building still provide straightforward, safe access into businesses for employees.

## Colors

Color should be used to unite the elements of a façade and to highlight architectural features. However, the colors on individual buildings should complement and be compatible with the predominant hues of nearby buildings.

- The predominant colors for Old Town Area buildings should consist of earth tones. The natural brick and stone colors should predominate. Darker or lighter hues may be used as accent trim.
- Ceramic tile, terra-cotta, brick, stone, and glass surfaces should not be painted, unless it is appropriate to the architectural style.

## Awnings and Canopies

Awnings (temporary/seasonal) and canopies (permanent) protect shoppers from the elements, add color and visual interest to the street, and contribute significantly to an area's pedestrian scale and interest.

- Awnings and canopies should be integrated into the façade of all commercial buildings within the Old Town Area and should be in character with the architectural style of the building.
- Awnings should be properly placed above entrances and may extend over storefront windows.
- The color of awnings and canopies should complement and enhance the overall color scheme of the building façade.
- Awnings and canopies should be positioned a minimum of eight feet above the sidewalk.
- Awnings should be made of a canvas or durable fabric material that can be easily cleaned. Hard plastic, or other materials that could be cracked or broken are prohibited. Awnings and canopies that become windblown or torn should be repaired immediately.
- Back lit awnings and canopies, shingle and mansard canopies, and metal and plastic awnings are prohibited within the Old Town Area.
- Awnings and canopies should be used only when they are compatible with, or complement the architectural style of the building. Awnings should not appear out of place, "forced", or as an afterthought.



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*1) A range of earth tones and neutral tones are used to decorate this riverfront building in Old Town. 2) & 3) Awnings or covered entry and walkways enhance the pedestrian experience and friendliness of commercial and mixed use buildings.*

## Lighting

The lighting of a building's façade can help identify stores and businesses, promote a sense of safety and security, and highlight prominent Old Town Area buildings and building features.

- Appropriate lighting should be used to illuminate entries into the Old Town Area, signage, displays, and pedestrian and parking areas, as well as to highlight significant architectural elements.
- Building lighting should be subtle and understated and should enhance the building design and the adjoining landscape; light fixtures shall be designed and oriented to produce minimal glare, nuisance, and spillover onto neighboring properties.
- Exterior lighting sources shall be concealed with baffles or shields to provide direct illumination; where concealment is not practical, light fixtures should be compatible with overall storefront design. Spotlighting is prohibited for commercial buildings within the Old Town Area.
- Incandescent lighting creates a warm atmosphere and is encouraged. Diffused, soft white light is encouraged. Excessive lighting should be avoided to reduce light pollution.
- Street lighting within the Old Town Area should be at a pedestrian scale. Light standards should be between 12'-18'. Parking areas within the Old Town Area should contain both pedestrian and vehicular scale lighting.
- A common style of pedestrian-scale light fixtures has been selected by the Village, already exists along and adjacent to the Main Street Bridge, and will be used throughout the Old Town Area. The same or similar style of light fixture should be used where appropriate as part of new development and redevelopment within Old Town.



4)



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6)

*4) Awnings and landscaping provide color and interest in this lively pedestrian area. 5) Coordination of awning style, color and placement unifies this multi-tenant building, while still allowing for individual business signage. 6) Old Town's street lighting already unifies Main Street across the Fox River.*

## Signs

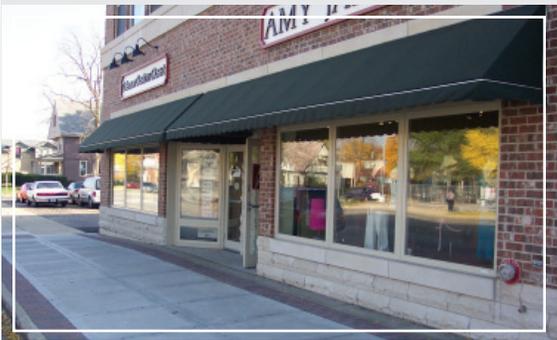
Signs not only communicate the nature of individual businesses, but also influence the overall image and character of Carpentersville's Old Town Area.

- Raised, individual letters mounted directly on the building, as well as signs that use light colors for lettering and darker colors for backgrounds, are encouraged throughout the Old Town Area.
- Wall-mounted signs should be designed as an integrated component of the building façade, and should not cover important architectural details.
- Exterior signs shall be limited to business identification and description. Signs for special promotions, sales, products, and advertising signs are discouraged.
- The size, material, color, and shape of signs should complement the architectural style and scale of the building.
- When a building contains multiple storefronts, signage for all businesses should be compatible in design and consistent in placement.
- Pole signs and internally illuminated box signs are prohibited in the Old Town Area.
- Street numbers shall be prominently displayed at the main entrance to every business and be clearly visible from the street. Consideration should be given to a consistent style and placement of street numbers within the Old Town Area.
- The Village should establish a comprehensive wayfinding signage system that can direct visitors to the Old Town Area. Directories and signage could also guide and direct both motorists and pedestrians to key destinations within the area, including public parking areas, the Fox River, and other such destinations.

## Rear Yards and Rear Facades

The rear portions of all properties should be clean, attractive and well maintained, particularly where these areas are visible to the public.

- The backs of existing commercial buildings should be well kept, with rear façades being "comparable" to front façades.
- Secondary rear entrances to stores and shops are encouraged in blocks where public parking or pedestrian walkways are located behind the buildings.



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1) & 2) Uniform sign panels customized with business name lettering prevents sign clutter. Illumination is external by architectural gooseneck lighting. 3) Low monument signage is appropriate in some locations, such as this parking area. 4) A rear facade continues brick facing and solid doors for screening of service and garbage areas.

- Trash receptacles, dumpsters and service areas should be located inside the primary building or be fully enclosed by small masonry structures.
- Outdoor storage and service dumpster, if permitted and provided, shall be completely screened from view along sidewalks and roadways through the use of masonry walls and evergreen plantings.

### Parking Areas

Parking areas should consist of a combination of on-street parking and off-street parking lots. Off-street parking lots should be designed and located so that they are safe, efficient, and do not disrupt the traditional pedestrian scale of Old Town Area. On-street parking areas should be designed to provide short-term convenient parking, which will assist in protecting the pedestrian, calming traffic and contributing to the desired character of the Old Town Area.

- Parking lots should be located behind buildings. Parking lots in front of buildings are not encouraged within the Old Town Area.
- Vehicular access to parking lots should be provided from alleys or side streets wherever possible. Curb cuts and access drives should not be permitted (or at least kept to an absolute minimum) along pedestrian shopping streets.
- Where possible, pedestrian access to parking lots should be provided through planned walkways located in gaps between buildings.
- Parking lots shall have curbed perimeters. Landscaped islands and clearly marked pedestrian pathways are required within the interior of parking areas.
- Parking lots should be treated with decorative elements, building wall extensions and low masonry wall, landscaping, berms, or other innovative means to screen parking areas from view from public ways.
- All parking lots shall be paved, well marked, sufficiently lit, and provided with proper drainage.
- Parking lot lighting should consist of vehicular scale lighting and pedestrian scale lighting. Excessive lighting and light pollution shall be avoided.
- Parking lot landscaping shall include “landscape islands” at a ratio of approximately one per ten to fifteen parking spaces. Landscape islands shall consist of canopy trees (minimum 2.5 inches in caliper), attractive groundcover, and/or decorative bushes (minimum 3 feet in height).
- Shared parking and cross access easements for adjacent parking areas are encouraged within the Old Town Area.

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5) Wayfinding signage directs visitors to parking areas. Parking is screened by a decorative metal fence and landscaping. 6) Rear service/employee entrances appear more safe and welcoming with awnings and lighting. 7) Shade trees and fast-growing, salt tolerant groundcovers are appropriate for parking lot islands. 8) Parking near storefronts is appropriate in certain locations.

## Landscaping and Site Improvements

- Native plants to the Northeastern Illinois Region are encouraged for all landscaped areas within the Old Town Area. Although initially these plants and grasses may be difficult to establish, long-term maintenance costs will be reduced.
- Planters and landscaped areas should be installed to buffer parking and service areas from adjacent uses. Plantings should consist of low evergreen and/or deciduous shrubs planted in conjunction with low-growing annual or perennial plants and groundcover. Large expanses of exposed mulch should be avoided
- In conjunction with landscaping, decorative fencing is encouraged to delineate and screen parking and service facilities, etc. Low-profile, decorative wrought iron fencing or masonry walls are recommended. Chain link fencing is prohibited within the Old Town Area.
- All landscaping must be maintained in a healthy and attractive condition. Maintenance programs should be established as part of new development approvals to ensure that private landscaping is adequately cared for and that its value is retained over time. Regular maintenance should include turf mowing, periodic fertilization, pruning, and the clean-up of litter and debris. Private internal irrigation systems are required.
- Areas adjacent to entrances, monument signs and other site features should be considered for seasonal flowers or colorful groundcover.
- A Streetscape Improvement Program should be implemented to “visually unify” the Old Town Area. The Village should develop and implement a detailed Streetscape Improvement Plan for the entire Old Town Area to establish a visual identity for the streets, and to link together the diverse land uses. Streetscape improvements to the Old Town Area should include coordinated landscaping on both sides of the street; pedestrian lighting; distinctive signage and banners; coordinated street furniture including benches, bike racks and trash receptacles; accent landscaping at key locations; and gateway signage.
- Regularly spaced street trees should be planted in rows along both sides of all streets within the Old Town Area. Trees should be located within the sidewalk through the use of iron tree grates. Trees should be planted every 25’ to 30’, with the spacing varied as needed to correspond to spacing of decorative pedestrian lighting units. Tree grates should be located adjacent to the back of the curb, resulting in a tree placement of the tree 3’-4’ from the street.
- Parkway landscaping should consist of salt-tolerant street trees, shrubs, groundcover, perennials and shrubs limited to maximum 3’ mature height.



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*1) A water feature provides an attractive visual and auditory amenity. 2) Varied paving clearly indicates a pedestrian crosswalk. 3) Annual and perennials flowers, like this Dianthus, bring color and vibrancy to shopping and mixed use areas.*

- Within the shopping areas, plantings in raised beds, planters, urns, or other containers should be utilized along the curb line in selected locations and to highlight key entrances and activity areas. Plantings should be attractively maintained throughout all seasons. Consideration should be given to an appropriate mix of plant materials to ensure screening and greening still occurs during winter months.
- All landscaping within and adjacent to the public right-of-way should be compatible with existing plant materials in the area and be composed of native and salt tolerant species.
- Street trees and other landscaping along the public rights-of-way should be protected from motorized and pedestrian traffic by curbs, tree grates, and other devices.

### Public Improvements

In addition to site and building improvements of commercial and mixed-use sites, a range of projects should be undertaken within the public rights-of-way and on publicly owned property to enhance the image and appearance of the Old Town Area to create a safe, attractive, and “hospitable” working, shopping, living, and leisure-time environment. These public sector improvements can also help promote new private investment and development, and attract additional visitors and business patrons to the area. While this section may be considered more along the lines of “Village initiatives or improvements”, rather than design guidelines, it is nonetheless included, as it provides sound direction for the improvement of public areas within the Old Town Area.

- A Streetscape Improvement Program should be implemented to “visually unify” the Old Town Area. The Village should develop and implement a detailed Streetscape Improvement Plan for the entire Old Town Area to establish a visual identity for the streets, and to link together the diverse land uses. Streetscape improvements to the Old Town Area should include coordinated landscaping on both sides of the street; pedestrian lighting; distinctive signage and banners; coordinated street furniture including benches, bike racks and trash receptacles; accent landscaping at key locations; and gateway signage.
- The Village should establish a comprehensive wayfinding signage system that can direct visitors to the Old Town Area. Directories and signage could also guide and direct both motorists and pedestrians to key destinations within the area, including public parking areas, the Fox River, and more.



4)



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*4) Flowering annuals and perennials in the parkway act as a colorful buffer between vehicular and pedestrian traffic. 5) A system of unified street lighting, wayfinding signage and street furnishings add to this downtown area. 6) Flowers, bollards, benches and street trees provide a pedestrian-friendly environment near this restaurant.*

# Village of Carpentersville Development Standards & Design Guidelines



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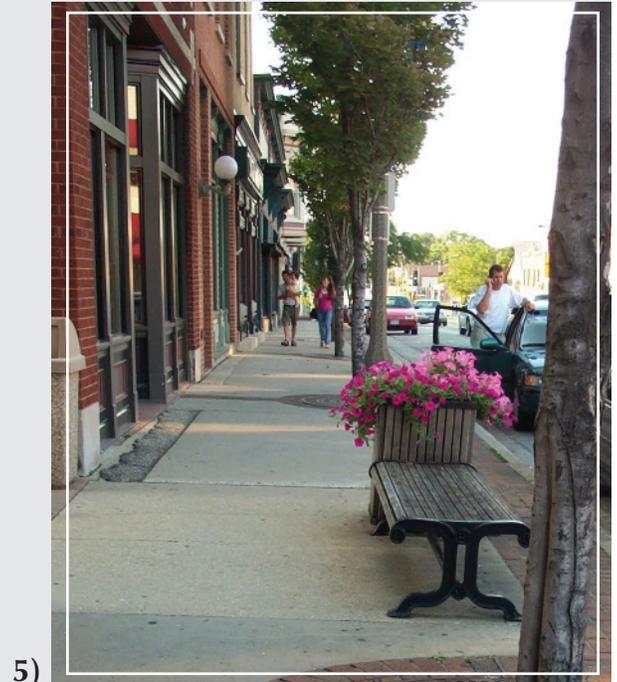
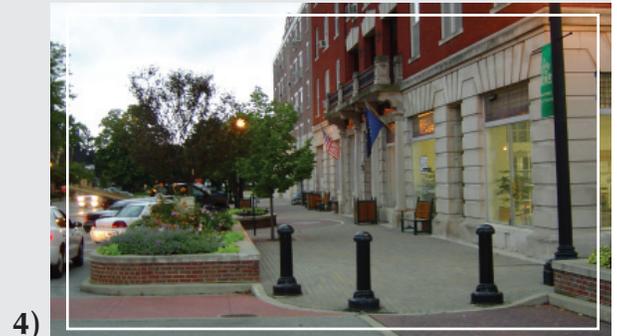


3)

- 1) *Street and wayfinding signage is both informative and adds to the character of an area.*
- 2) *Traffic lanes, parking lanes and pedestrian zones can and do coexist in a mixed use downtown setting.*
- 3) *A plaza with a water feature draws passersby in for a seat.*

- Streets within the Old Town Area should be designed to support vehicles, bicyclists and pedestrians on a relatively equal basis. While accommodating vehicular traffic, streets should also promote walking, cycling, and an overall sense of place.
- Streets within the Old Town Area should be designed and controlled to reduce the speed of traffic, particularly along streets with shopping and storefronts. Streets should be no larger than 4 lanes wide (2 lanes for parallel or angled parking and 2 lanes for the movement of vehicles).
- To improve visibility and safety, pedestrian crosswalks within the Old Town Area should be made prominent and noticeable by employing a change in paving materials, texture and color. Striping, small pylons and special bollard lighting fixtures might also be used to highlight crosswalks.
- Sidewalks should be a minimum of 10' wide in shopping areas, and 5' wide in residential areas. In shopping areas, the sidewalk should extend from the storefront to the back of the curb. In residential areas, the sidewalk should be separated from the curb of a street with a 5' landscaped parkway.
- Sidewalks shall be provided along both sides of all streets within the Old Town Area.
- All public and private sidewalks within the Old Town Area should be accessible to the handicapped and shall comply with appropriate ADA (Americans with Disabilities Act) standards.
- Pylons and bollard lighting, in matching styles to the decorative lighting units, should be considered as accents and for ornamental purposes. These fixtures could be used to highlight crosswalks, open spaces, seating areas, and major pedestrian ways.
- The Village should establish a comprehensive signage system that can direct motorists to the Old Town Area, and guide and direct both motorists and pedestrians to key destinations within the area.
- "Gateway" signs should be developed at key locations to serve as entry ways into the Old Town Area. In addition to signage, gateway features should include special landscaping, lighting and paving.
- Banners attached to street light standards will distinguish the Old Town Area and could also be used to commemorate special events within the Village. Banners should be changed periodically during the year.
- A new "icon" should be considered to specifically brand the Old Town Area. This new icon should appear on the full range of way-finding signage, directories, and also be used in conjunction with the Village's current logo in a variety of marketing and promotional efforts.

- Improvement and development of Old Town Area should include a unified system of “street furnishings,” such as seating areas, trash receptacles, drinking fountains, bike racks, and other pedestrian amenities. Street furnishings materials, colors and architectural styles should be consistent.
- Trash receptacles should be placed at key locations within the Old Town Area. Benches, fountains and other pedestrian amenities should be located at key intersections and high activity areas. Bike parking should be provided in visible areas and near main parking areas.
- Whenever possible, existing overhead utility lines within the Old Town Area should be relocated underground in conjunction with both new development and redevelopment projects.
- Screening utility, maintenance, refuse, and/or other potentially unattractive places from view from any street, sidewalk, or adjacent property shall be accomplished by the use of walls, berms, fencing, and/or planting. Plant screening shall be equally effective in the winter and summer seasons. Walls shall be constructed of materials matching the primary building. Fencing should complement the architectural and landscaping designs on the site.
- Miscellaneous structures located on private property, public ways and other public property, including light standards, newspaper stands, donation boxes, bus shelters, plants, traffic signs and signals, benches, retaining walls, mailboxes, and gateway and other signage should be designed to be part of the architectural concept of design and landscape. Materials should be compatible with buildings, scale should be appropriate, and colors should be in harmony with nearby buildings and surrounds, and proportions should be attractive.



*4) Raised planting beds and well-placed bollards define the pedestrian realm very clearly. Paving also contributes to the ease of pedestrian navigation. 5) Frequently spaced street trees and flower planters unify this pedestrian area. 6) Tree grates protect the roots of the tree and become decorative elements in the sidewalk.*

**Light Industrial/  
Business Park and  
Industrial Guidelines**

## Building Scale, Design & Materials

- When industrial or manufacturing development is adjacent to residential or other incompatible land uses, an additional setback of 25 ft shall be provided with berms, and additional landscape screening, effective during winter and summer seasons, used to provide adequate protection from adverse impacts
- Buildings within the Light Industrial/Business Park and Industrial Areas should not be set back from public roadways so far as to diminish the aesthetic impact of the building on passing pedestrians and motorists.
- Buildings should “front” the street wherever possible, and display windows or distinctive facade treatments. Long, blank facades along the street are prohibited.
- Architectural details should be visible from the street, considering the appropriate scale the building is designed for.
- Within the Light Industrial/Business Park and Industrial Areas, rooftop mounted equipment, vents, and mechanical fixtures shall be screened from views along the street. Rooftop screening should be incorporated into the overall design of the building and be an integral part of its architecture.
- Dumpster enclosures for Light Industrial/Business Park and Industrial Areas uses shall be of masonry construction, should complement the overall building design, and should be screened with landscaping.
- Traditional exterior finish building materials such as brick, stone and wood clapboard siding should be encouraged, particularly on portions of the building that are highly visible. The use of prefabricated concrete tilt-up panels is acceptable, provided that architectural treatments such as contrast coloring, face brick inserts, recessed panel inserts, etc are utilized to the greatest extent possible. The use of Dry-vit (or EIFS), vinyl, and aluminum siding, plastic panels and similar exterior surface materials should be avoided, but if used, should be applied and designed in a quality manner.
- Damaged and deteriorated exterior building materials should be promptly repaired and replaced in accordance with the property maintenance code.
- All utility cables shall be underground.
- All refuse containment areas shall be located to the rear of buildings and provided with solid access doors or gates which self-close.



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*1) Extensive parkway and median landscaping makes a beautiful setting in this business park. 2) Architectural interest is added with banding and color accents, as well as building massing and articulation. 3) A pitched roof on this office building help it blend in with nearby residential neighborhoods. 4) Lighting and landscaping in parking lots will provide a feeling of pedestrian safety and shade.*

## Lighting

- Front and rear building entries shall be adequately lit for overall security and visibility.
- Most exterior lighting should be concealed to provide indirect illumination. Where concealment is not practical, light fixtures should be compatible with building architecture.
- Exterior “spotlighting” may be used to illuminate important signs or “accent” prominent building details, if appropriate.
- Lighting within the Light Industrial/Business Park and Industrial Area sites for security and night-time operation should be constructed and used where necessary. Overspill lighting into adjacent properties is prohibited.
- Diffused, soft white light should be encouraged; metal halide lighting should be avoided.

## Signage

- The design and color of the sign should compliment the architectural style of the building, and be integrated as a component of the building’s facade.
- Provide “gateway” signage and design features at key Light Industrial/Business Park and Industrial Area entrances. “Gateway” treatments may include special landscaping, public art, and/or lighting, which would distinguish individual business parks as unique and identifiable business areas.
- The size of signs should complement façade proportions, and should be constructed with an appropriate scale to the building.
- Signs consisting of individual projected letters mounted flat on the building face are encouraged.
- Internal illumination is preferred for building mounted signs. Externally lighted signs may be considered only if they are compatible with other architectural components.
- Attractive, low profile monument signs should be encouraged for Light Industrial/Business Park and Industrial Areas. Monument signs should be attractively landscaped and constructed from traditional building materials similar to the primary building on the site.
- Pylon signs, billboards, and other “off-premises” signs are prohibited.

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5) - 7) Business park entry signage sets the tone and character for the overall development. Materials should relate to those used in buildings in the development. Amenities such as flags, trees or water features enhance the signage sites. 8) Simple, individual letter wall signage is readable and attractive.

## Landscaping

Light Industrial/Business Park and Industrial Area properties shall be landscaped in a manner that screens parking and unattractive uses, and enhances building visibility. Business parks should provide an overall “campus-like setting” with attractively landscaped open space. Landscaping must be maintained in a healthy and attractive condition. Private internal irrigation systems are preferred.

- Perimeter landscape setbacks at least seven feet in width shall be provided along the edges of parking lots that border public sidewalks. Perimeter landscape plantings should include a continuous hedge (3 to 4 feet in height) accented by trees and ground cover.
- Where site size or configuration does not allow for the minimum seven-foot perimeter landscaping, vertical landscaping elements should be employed to provide an effective screen between parking lots and the public right-of-way.
- Chain link and stockade fencing shall be discouraged in Light Industrial/Business Park and Industrial Areas. If Light Industrial/Business Park and Industrial Area sites desire fencing for security purposes, decorative metal fencing should be installed. Black-vinyl coated fencing is recommended, if chain link fence is absolutely necessary.
- Areas adjacent to entrances, monument signs and other site features should be considered for seasonal flowers or colorful groundcover.
- Parking lot landscaping shall include “landscape islands” at a ratio of approximately one per ten parking spaces. Landscape islands shall consist of canopy trees (minimum 2.5 inches in caliper), attractive groundcover, and/or decorative bushes (minimum 3 feet in height).
- Evergreens, berming, and other “vertical” landscaping elements should be used to screen industrial and intense commercial activity from adjacent residential properties. Masonry walls may be considered as a screening device where landscaping alone is incapable of providing an effective screen.
- Planters and landscaped areas should be encouraged in Light Industrial/Business Park and Industrial Areas. Foundation landscaping shall consist of trees, shrubs, and seasonal flowerbeds.
- Outdoor storage areas, where permitted, shall be screened with either solid board on board fencing or masonry construction that compliments the overall building design and materials, as well as landscaping so as to completely shield view of items being stored.



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- 1) Landscaping buffers parking areas from public view and enhances a business park sign.  
 2) Long-blooming perennial flowers, such as this Stella D'oro day lily, beautify entry areas.  
 3) Landscaping provides pleasant views for workers inside, as well as an attractive setting for business. 4) A water feature incorporated into a stormwater basin adds interest to this business park setting.

### Parking

Adequate parking is essential within the Light Industrial/Business Park and Industrial Areas. Off-street parking lots should be designed and located so they are safe, attractive and efficient.

- Within the Light Industrial/Business Park and Industrial Areas cross access between service roads should be encouraged.
- All parking areas shall be paved, striped and have surfaces in good condition.

5)



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*5) Especially in business and industry areas where parking requirements may be greater, parking lot landscaping is important to soften large expanses of paving. 6) Landscaping, including shade and evergreen trees, shrubs, groundcover and flowering perennials screen and beautify this business park lot.*

*For more information about the application of these guidelines, please contact the Village of Carpentersville, Community Development Department at 847-551-3478.*